

Schedule "A"

CARLETON CONDOMINIUM CORPORATION NO. 67

BY-LAW NO. 8

BE IT ENACTED as By-Law No. 8 (being a by-law to define standard units) of Carleton Condominium Corporation No. 67 (hereinafter referred to as the "Corporation") as follows:

**ARTICLE I
DEFINITIONS**

All words used herein which are defined in the *Condominium Act, 1998*, or any successor, ("the Act") shall have ascribed to them the meanings set out in the Act as amended from time to time.

**ARTICLE II
GENERAL**

- (1) The purpose of this by-law is to define the standard units in this condominium, in accordance with the requirements of the Act.
- (2) The standard unit does not include features which are part of the common elements. The Corporation's declaration determines which features are part of the common elements and which features are part of the units. To the extent that the attached schedules include features which are part of the common elements, they are included for reference and information purposes. They are not intended to be part of the standard unit.
- (3) In this condominium, there are four (4) different classes of standard units. Each class is based upon a different model of unit in this condominium. The standard unit for each class or model is defined and described further in specifications contained in the attached Schedule "1". The classes are as follows:

Class Number	Class Description
1	Three Bedroom with no walkout basement
2	Three Bedroom with walkout basement
3	Four Bedroom with no walkout basement
4	Four Bedroom with walkout basement

**ARTICLE III
MISCELLANEOUS**

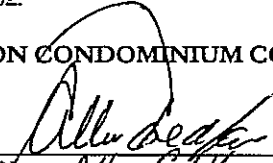
- (1) Invalidity: The invalidity of any part of this by-law shall not impair or affect in any manner the validity and enforceability or effect of the balance hereof.
- (2) Waiver: No restriction, condition, obligation or provision contained in this by-law shall be deemed to have been abrogated or waived by reason of any failure to enforce the same irrespective of the number of violations or breaches thereof which may occur.
- (3) Headings: The headings in the body of this By-law form no part thereof but shall be deemed to be inserted for convenience of reference only.

- (4) Alterations: This by-law or any part thereof may be varied, altered or repealed by a by-law passed in accordance with the provisions of the Act, and the Declaration.

The foregoing by-law is hereby passed by the Directors and confirmed by the owners pursuant to the *Condominium Act, 1998* of Ontario.

DATED this 11th day of April, 2002.

CARLETON CONDOMINIUM CORPORATION NO. 67



Print Name: *Allen Coltham*
Print Title: *President*

I have authority to bind the Corporation

Version 3 - October 2001

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This document was prepared by Nelligan O'Brien Payne LLP for CCC #67 based on a thorough review of all relevant documentation and the specific circumstances of this condominium. This document may not be appropriate for another condominium.

Please note: The form from which this document was prepared is regularly revised and updated.

Schedule "1"
Carleton Condominium Corporation No. 67
Specifications

General

- Doors:** Wood slab door with hinges and passage latch sets, brass finish except interior of bathrooms which are chrome finish and have a lock.
- Windows:** Double glazed windows with 2 or 3 panels, one of which opens, complete with screen. End units in a row may have additional window(s) on the end wall. These depend on the orientation of the unit and are as follows: on landing of stairs to bedrooms (2 panes), in kitchen over the sink (2 panes), in bathroom of Classes 1 & 2 or ensuite of Classes 3 & 4.
- Flooring:** Main and second floor: 36 oz. wall-to-wall broadloom and underpad throughout, except for front entrance hall, kitchen, powder room, bathroom, ensuite and stairs to basement/lower level which are cushioned flooring or vinyl embossed tile.
- Walls/Trim:** Drywall, primed and painted with one coat of premium quality paint (white only). Wood trim and baseboard, primed and painted semi-gloss to match Walls.
- Ceiling:** Stipple on drywall except for kitchen, powder room, bathroom and ensuite which are drywall only.
- Lighting:** Standard fixture is a socket for a single bare bulb. Other lighting fixtures have decorative covers. The dining room chandelier, all hall fixtures and the upstairs landing fixture are similar style and better than standard quality. The bedrooms and bathrooms have standard quality fixtures.
- Railings:** Wood hand rails on stairways. Natural finish hardwood upstairs, painted wood downstairs.

Front Entrance Hall

- Doors:** Insulated steel door, with door chimes and lock. Lock has vertical bar and keyhole on outside with a round knob on the inside.
Exterior type door to garage. Deadbolt lock and latchset.
- Closet:** Closet with two bi-fold slab doors. Inside are 2 shelves and vertical partition on right side for cleaning storage. Hanger rod under bottom shelf.
- Lighting:** Two ceiling light fixtures. Door chime on wall near closet.

Powder Room

- Exhaust Fan:** Exhaust fan vented to the outside.
- Lighting:** Fixture over the mirror
- Toilet:** Standard grade coloured.
- Sink:** Built in coloured sink with standard faucets.
- Mirror:** Width of cabinet, 36" high.
- Cabinets:** Melamine style cabinet base unit under sink.
- Countertop:** Melamine countertops with moulded roll front and built-in backsplash.
- Fixtures** One towel ring and one paper holder, both metal.

Kitchen

- Lighting:** Ceiling fixture over sink and hanging lamp fixture over eating area.
- Exhaust Fan:** Hooded exhaust fan over stove area vented to the outside.
- Cabinets:** Melamine Style cabinet with drawers and doors.
- Countertops:** Melamine countertops with built in backsplash.
- Sink/Faucet:** Double stainless steel sink with standard faucet.
- Roughed-in plumbing and electrical for dishwasher. Provision for stove and refrigerator.

Dining Room/Living Room

- Fireplace:** Brick, floor-to-ceiling wood burning fireplace with decorative stone hearth and wooden mantle.
- Patio Door:** Sliding door, four panels of single glazed glass, one screen panel, aluminum.
- Lighting:** Hanging multi-bulb lamp fixture in centre of dining room ceiling.

Bathroom

Exhaust Fan: Exhaust fan vented to the outside.
Lighting: Lamp fixture centred over the mirror
Toilet: Standard grade coloured.
Bathtub: Regular size coloured bathtub with ceramic tile around bathtub to ceiling. Shower curtain rod, two metal soapdishes. Standard faucet and shower head.
Sink/Faucet: Built in coloured sink with standard faucets.
Mirror: Wall mirror the width of cabinet and 36" high.
Fixtures Two soap and grab dishes, two towel bars and one paper holder, all metal.
Cabinets: Melamine style cabinet base unit under sink, medicine cabinet on wall beside door.
Countertop: Melamine countertops with moulded roll front and built in backsplash.

Upstairs Hall

Lighting: Single bulb fixture in centre of ceiling, hanging single bulb fixture over landing of stairway.

Linen Closet

Shelving: Five shelves.
Door: Bi-fold slab door

Bedrooms

Lighting: Multi-bulb ceiling light fixture.
Closet: Master Bedroom (CLASSES 1 & 2 ONLY): Closet with two bi-fold slab doors. Inside are 2 shelves with hanger rods under bottom shelf.
Master Bedroom (CLASSES 3 & 4 ONLY): Walk-in closet with two bi-fold slab doors. Inside are 2 shelves with hanger rods under bottom shelf.
Secondary Bedrooms: Closet with two bi-fold slab doors. Inside are 2 shelves with hanger rail under bottom shelf.

Ensuite, Master Bedroom

Exhaust Fan: Exhaust fan vented to the outside.
Lighting: Fixture over the mirror.
Toilet: Standard grade coloured.
Sink: Built in coloured sink with standard faucets.
Mirror: Width of cabinet, 36" high.
Cabinets: Melamine style cabinet base unit under sink.
Countertop: Melamine countertops with moulded roll front and built-in backsplash.
Fixtures One towel ring and one paper holder, both metal.
ADDITIONAL FOR CLASSES 3 & 4 ONLY:
Bathtub: Regular size coloured bathtub with ceramic tile around bathtub to ceiling. Shower curtain rod, two metal soapdishes. Standard faucet and shower head.
Fixtures Two towel bars.

Basement

Flooring: Cement, vinyl tile on stairs leading to/from basement.
Laundry: Single laundry tub and standard taps, automatic washer taps and drain pipe, opening for dryer vent connection along wall, opposite side to laundry tub. Electrical outlet for dryer and duplex outlets for washer and utility outlet. Electrical and water rough-in for hot water tank.
Lighting: Standard lamp fixtures in the ceiling: landing of basement stairs, laundry and 3 in open area of basement.

THE FOLLOWING ITEMS ARE FINISHED IN THE BASEMENT OF CLASSES 2 AND 4 ONLY, UNFINISHED IN CLASSES 1 AND 3:

Flooring: Vinyl tile (including stairs leading to/from basement).
Walls/Trim: Drywall, primed and painted with one coat of premium quality paint (white only). Wood trim and baseboard, primed and painted semi-gloss to match walls.
Ceiling: Stipple on drywall
Lighting: Standard lamp fixtures in the ceiling: landing of basement stairs, laundry room and utility room. Single lamp fixtures at bottom of stairs and near door to utility room. Two dual lamp fixtures in large room.
Patio Door: Sliding door, four panels of single glazed glass, one screen panel, aluminum.

Garage
Size: Single
Flooring: Concrete floor
Walls: Walls are insulated and finished with drywall and tape only where they are common with kitchen and entrance hall. Remainder are unfinished
Ceiling: Ceiling under bedroom is insulated and finished with drywall and tape only. Remainder is unfinished.
Doors: Sheet metal roll-up garage door with lock.

Plumbing and Mechanical Systems

Electric baseboard heat with separate thermostats for individual control in each room.
Two exterior hose connections (front and rear)

Electrical

200 amp electrical service with individual meters
Cable TV pre-wired to basement, living room, master bedroom, and larger back bedroom.
Telephone hook-up to kitchen (wall mount), master bedroom and larger back bedroom.
Battery operated smoke detectors in basement, entrance hall, bedroom hall.

Standard Features

Unless otherwise indicated herein, the following items shall simply be of standard quality and installation and in accordance with all relevant or applicable codes and regulations:

- light switch and cover plates
- electric outlets and cover plates
- plumbing
- drains
- insulation
- ducting, venting and associated fans
- door hardware
- smoke detectors
- vapour barrier
- electrical wiring
- paint
- trim
- cabinet hardware (powder room, kitchen, bathroom, ensuite)
- door bells - front and back

Properties 15067-0001 to 15067-0120 (inclusive)

PIN	15067 - 0121 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 121, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00013 GINGRAS CT KANATA		
PIN	15067 - 0122 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 122, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00011 GINGRAS COURT OTTAWA		
PIN	15067 - 0123 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 123, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00009 GINGRAS CT KANATA		
PIN	15067 - 0124 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 124, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00007 GINGRAS COURT KANATA		
PIN	15067 - 0125 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 125, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00005 GINGRAS CT KANATA		
PIN	15067 - 0126 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 126, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00003 GINGRAS CT KANATA		
PIN	15067 - 0127 LT	<i>Estate/Qualifier</i>	Fee Simple Absolute
Description	UNIT 127, LEVEL 1, CARLETON CONDOMINIUM PLAN NO. 67 ; FIRSTLY: PT LT 5, CON 4, PTS 2, 3 & 5 4R1020; SECONDLY: PT LT 5, CON 4, PT 6 4R1020, AS IN SCHEDULE 'A' OF DECLARATION LT120790 ; KANATA/MARCH		
Address	00001 GINGRAS CT KANATA		

Applicant(s)

Name CARLETON CONDOMINIUM CORPORATION NO. 67
Address for Service c/o Nelligan O'Brien Payne
1900-66 Slater Street
Ottawa, ON K1P 5H1

Carleton Condominium Corporation No. 67 hereby certifies that by-law number 8 attached hereto is a true copy of the by-law. The by-law was made in accordance with the Condominium Act. The owners of a majority of the units of the corporation have voted in favour of confirming the by-law.

I, Allen Coldham, have the authority to bind the corporation.

Statements

Schedule: See Schedules

Signed By

James Morry frederick Davidson 1900-66 Slater St. acting for Applicant(s) Signed 2002 08 08
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Submitted By

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Fees/Taxes/Payment

Statutory Registration Fee \$60.00
Total Paid \$60.00