

## Bethune Condominium

### **Front Entry, Window, Patio Door and Garage Door Requirements**

Original Issue – November 2007

Revised Issue – March 2016

The Board of Directors has approved the requirements for unit owners who would like to install new doors and windows. Consultations were held with Patrick McCarron, a well respected designer who advised on all aspects of exterior design for the Bethune Condominium. Additionally, he selected the colours, new front door options, and storm door replacements.

The character of our condominium is an important part of the value of our homes; the overall objective is to ensure that all design elements are consistent with the Mid-Century Modern architecture of the buildings. The trim colour remains brown, to blend old and new installations. Siding colours harmonize with the brick. Garage doors are matched with the siding to make them less prominent, and a variety of colours focus more attention on the entry doors. Windows, patio doors, slab doors and side-lights retain the original style. New storm doors allow the front door colours to show through for a brighter look. New front doors offer a choice of options that relate to the building style.

In addition to adhering to the requirements of the corporation, owners are advised to be aware of important factors when choosing window and door products, suppliers and installers. The CMHC (Canada Mortgage and Housing Corporation) website is a good source of information for homeowners.

#### **Before You Shop**

To avoid costly mistakes, ensure that you read, understand and comply with all the requirements contained in this document, and that you obtain written Board permission prior to commencing any aspect of these or any other modifications to the common element.

Please ensure that the steps below are followed:

1. Read and understand the requirements listed in this document.
2. Complete the *Application Request* which is *Schedule 1 of Bylaw 12 (Modification to the Common Element)*. The bylaw can be obtained from the web site <http://www.bethunecondo.ca/bylaws.html> or from the Property Manager.
3. Send the completed forms to the Property Manager for written Board approval.
4. With the application, include the manufacturer's literature, accurately labelled installer's diagrams, and a sample or colour chip (not a printed colour sheet) of all pre-finished materials, except glass.

## Front Entry, Window, Patio Door and Garage Door Requirements

### Requirements

#### Materials

Windows or doors may be framed in wood, plastic, metal or fibreglass. Front doors and storm door frames must be metal.

#### Colours

Colour is an essential design element of our condominium. Except for door handles, locks, front door and garage door colours, all exterior non-glass components – all frames for windows, patio doors, storm doors, and front doors – must match the brown trim on the buildings. Any trim or frames installed that do not correctly match the approved brown must be removed and replaced with the correct colour, otherwise the corporation reserves the right to paint them.

The Condominium will paint in the approved brown colour the following: windows and frames, patio doors and frames, front door frames and sidelights. The corporation will paint each new front door the exact approved colour for each home, according to the master list for condominium front door colours. No other colour is permitted. The garage door will be painted the siding colour. In order to provide a good base coat for painting, the main entry and garage door should be finished in the manufacturer's primer coat only.

Some suppliers offer a factory paint finish using the exact approved colour formulation code for the front door, patio door, windows and frames. These codes are available through the property manager, and must be confirmed and pre-approved by the Board in each case. In the event that the finished product is not an exact match to the approved colour specification, the corporation will paint the door or frames in the correct shade.

All painting of any newly installed owner modifications of windows and doors, in whole or in part, will be conducted by the condominium corporation, **at the owner's expense.**

#### Glass

All glass in windows, patio doors, storm doors and front doors must be plain, clear, and un-embellished by any means, including but not limited to rippling, etching, bevels, mullions or grills. Windows or patio door glass can be standard double glazed. Energy-efficient features such as a low-e coating or argon gas may be incorporated. No tint is permitted.

#### Installation And Common Element Disturbance

The single most important factor along with product quality is the quality of installation, including but not limited to precision of fit. Workmanship quality varies widely among installers; for your protection, owners are advised to contact several references from within the condominium or check with the property manager.

Any damage to the common elements caused in the course of installing any of these modifications, including but not limited to brick damage resulting from the removal of

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the old frame / sidelight, and damage to siding resulting from removal of window or door frames is the owner's responsibility.

Owners should ensure that any contractors they hire are bonded for this type of accident.

Paint damage to the siding is also the owner's responsibility.

Any vehicle or trailer is strictly prohibited on any part of the common element at any time, except in the respective owner's driveway and garage.

The replacement windows must fit to within 1/4 inch inside the rough frame.

Owners are cautioned that any trim materials which overlap onto the common element (siding) and which may be damaged during the course of siding repairs or replacements are the owners' responsibility to repair or replace.

During the course of work, owners must ensure that the property manager is notified immediately of any problems including but not limited to, rot or mould, that may be discovered and which affect any common element materials. Any problems or damage must be fully corrected prior to installation of any replacement windows or doors.

Longer-term damage to the common element related to any owner-installed windows or doors is the responsibility of the owner and future owners. Common causes include but are not limited to water penetration as a result of defects related to fit and other aspects of inexpert workmanship, and inadequate maintenance of the installation by the owner.

### **Inspection**

Owners must inform the property manager when the work is completed and ready for inspection.

### **Maintenance**

Owners must maintain their modifications correctly. Most manufacturers supply directions for maintenance. By retaining a copy and following the instructions, owners can prevent future problems, which include but are not limited improper water drainage due to clogged drainage holes.

## **Modifications**

### **Front Door Entrances**

Front doors must be slab, or slab with a window insert. (See illustration). Option C is the preferred window style.

Window insert options are limited to the following sizes:

1. Two Thirds pane, approximately 21" x 34", with surrounding door slab about 7", with window in the upper part of the door.
2. Full pane, approximately 21" x 61", with surrounding door slab about 7", with 10" under the window.

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Manufactured trim must be flat, not raised, and able to be painted to match the correct door colour.

Any replacement of the full door / frame / sidelight must incorporate a **7/8 height glass sidelight**.

**Refer to previous listings for front door colour, frame colour, glass, and all other requirements.**

*Window and sidelight coverings must be confined to neutral, off-white or pastel colours. Sheers or mini blinds which may be anchored top and bottom are suggested. Window coverings which are brightly coloured, metallic, or distinctively patterned are prohibited.*

### **Storm Doors**

Storm door replacement is allowed although most door manufacturers will void their warranty if a storm door is added to their installation. The approved style is a full-light glass door surrounded by a metal frame approximately four inches wide. The frame may be slightly higher at the bottom; a panel at the bottom of the door is not permitted. The storm door may have only one narrow, horizontal middle divider to allow for top ventilation. (See illustration.) Top ventilation is more efficient, and prevents unsightly damage to screens caused by people and pets. A retractable roller screen in the door is acceptable as a replacement for removable screens. If the correct brown colour match is not available, the corporation will paint the exterior surface of the door. In order to provide a good base colour for painting, a door finished the darkest available manufacturer's brown is recommended, rather than white. Nickel or stainless steel hardware is recommended rather than brass which tends to corrode. **Refer to previous listings for frame colour, trim colour, glass, and all other requirements.**

### **Patio Doors**

These are sliding window style with one fixed frame and one horizontal slider.

**Refer to previous listings for frame colour, trim colour, glass and all other requirements.**

### **Windows**

Bedroom and Dining Room windows must be casement style to match the original windows, with the exception of the bedroom window over the garage on the 3-bedroom units. This window may be a fixed frame or awning type opening, with 2 or 3 panes. (An awning style window is a top hung window, see illustration for details.) The Basement window may be replaced with the original awning style or with a slider with the "Quick Release" feature for fire exit so that it meets the fire code. **Refer to previous listings for frame colour, trim colour, glass, and all other requirements.**

[**Note:** Fax transmission may affect the quality of line drawings and other illustrations. Owners are advised to request a follow-up copy of good quality to be sent by mail.]

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### Garage Doors

Square-paneled garage doors are approved. Because they have been allowed for many years, it was recognized that changing back to architecturally correct flat panels would be difficult. The Board was advised that because the garage doors are painted to match the siding, this makes them visually recede, and reduces the impact of what could have been a design problem.

Garage doors with windows are not approved.

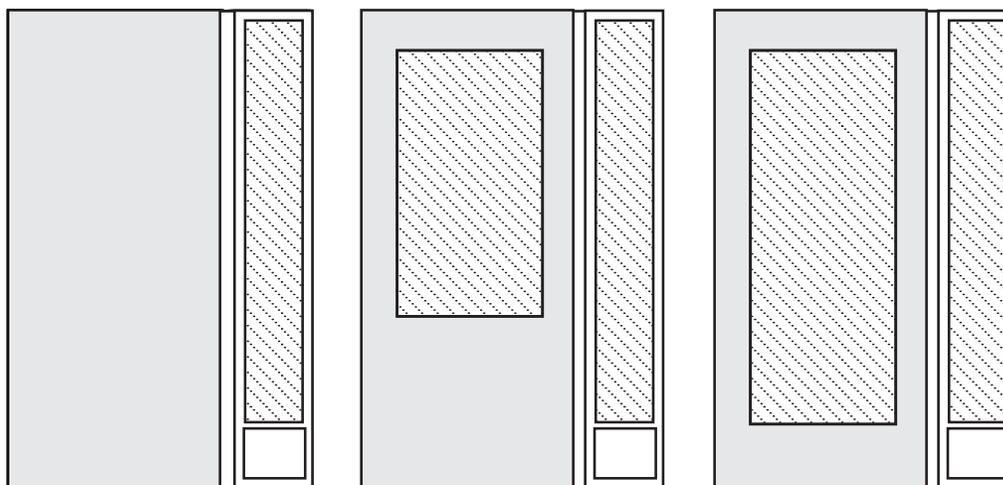
Doors will be primed and painted by the Condominium Corporation with costs added to the individual owner's common expenses.

Rubber/plastic seals that close the gap between the sides and top of the door are permitted but must be the standard condominium trim brown or will be painted by the Condominium Corporation with cost added to the individual owner's common expenses. Bottom seals required to keep water out must be black or dark brown.

Sheet metal panel doors used with an automatic door opener are required to be reinforced in the panel that is attached to the opening/closing mechanism. Without this reinforcement the panel and the paint are damaged. Owners are responsible for the cost of repairs.

**Refer to previous listings for front door colour, frame colour, glass, and all other requirements.**

### Front Door Style Options



**Option A**  
**Plain Slab Door**

**Option B**  
**2/3 Pane Slab Door**

**Option C**  
**Full Pane Slab Door**

**Shaded area is the door colour.**

**All other surfaces and the frame are the Trim Brown colour.**

Note: Typical distance from window edge to door edge is 7" for top and sides of window.

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### **Storm Door**



### **Casement Window**



### **Optional Front Bedroom Window**

