

Bethune Condominium

Garage Door Lights Requirements

Original Issue – April 2015

Modified – April 2016

The Board of Directors has approved these requirements for owners who would like to install lights over their garage door.

The character of our condominium is an important part of the value of our homes; the overall objective is to ensure that all design elements are consistent with the Mid-Century Modern architecture of the buildings.

Any visual aspect of the common element affects the appearance and appeal of the Condominium as a whole and that includes night lighting. Fixtures vary in style and colour, lamps in colour and size. A combination could result in an undesired visual look as well as glare.

Before You Shop

To avoid costly mistakes, ensure that you read, understand and comply with all the requirements contained in this document, and that you obtain written Board permission prior to commencing any aspect of these or any other modifications to the common element.

Please ensure that the steps below are followed:

1. Read and understand the requirements listed in this document.
2. Complete the *Application Request* which is *Schedule 1* of *Bylaw 12 (Modification to the Common Element)*. The bylaw can be obtained from the web site <http://www.bethunecondo.ca/bylaws.html> or from the Property Manager.
3. Send the completed forms to the Property Manager for written Board approval.
4. With the application include:
 - A written description of the fixture, including dimensions, and the size, type and equivalent wattage of the bulb used in it.
 - Manufacturer's literature and illustrations of the fixture.
 - The contractor who will be doing the work with their licence ID.

Description of Work

Only fixtures that are CSA approved for outdoor use are permitted.

A total of 2 recessed down lights (potlights) each no smaller than 4" (10 cm) and no bigger than 5" (13 cm) in diameter that will house a recessed bulb to avoid glare. A black baffle trim (inside wall of the potlight) is suggested.

Note: Light directing shields or directional light fixtures (eye-ball) are not permitted.

A match of the potlight rims to the soffit colour is required for approval.

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Preferred commercial colour is dark brown, matching the existing soffit. If not available then white may be used but must be painted to match the soffit.

Controls (on/off) must include a switch and may include an electric eye/photocell to turn the light on automatically at night. Only photocells are permitted. Motion sensors are not permitted.

A small flat electric eye/photocell (brown or black) may be mounted, countersunk (flush mounted) into the butt end of the fascia trim closest to the main entrance door.

Bulbs

Each light bulb wattage cannot exceed 60 Watt incandescent type or equivalent.

Light bulbs may be: Standard incandescent, R-type, PAR-type (20), Halogen or LED in a Soft White (2700K) colour only. Bulbs that emit a blue-green light (4000+K) are not permitted.

Coloured bulbs (red, green blue, etc.) are not permitted.

Installation

Since all garage doors are 8' wide (2400mm), the positioning of the 2 recessed down lights should be first measured from the centre of the garage door. Each down light should be located 3' (900 mm) from the centre of the garage door. The distance (in depth) of each down light should be centred midway between the front and back of the soffit from the brick wall to the fascia.

The work for this installation must be executed by a qualified electrician.

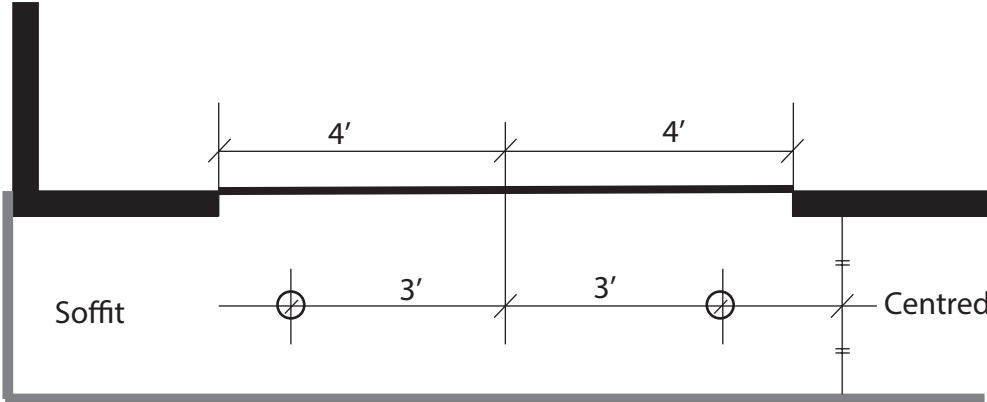
Installation and Common Element Disturbance

During the course of work, owners must ensure that the property manager is notified immediately of any problems discovered and which affect any common element materials.

Any damage to the common elements caused in the course of installing any of these modifications is the owner's responsibility. Owners should ensure that any contractors they hire are bonded for this type of accident.

Owners must maintain the lights and all associated parts according to the manufacturer's instructions. If at any time an installation is deemed by the Board to be problematic in any way, the Board may cause its removal. All aspects of removal must be born by the owner. Repairs of any damage to the common element associated in any way with the installation will be effected by the condominium corporation to the satisfaction of the Board, and all associated costs will be added to the owner's common expenses.

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Location of light fixtures above garage door.